

Page 1: DRC Site Plan - Applicant Information Sheet

INSTRUCTIONS: The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

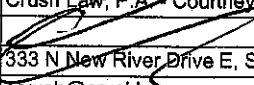
NOTE: To be filled out by Department

Case Number	R15033
Date of complete submittal	06/22/15

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	City of Fort Lauderdale (Lessor) - Fort Lauderdale Crown Center, Inc. (Lessee)
Property Owner's Signature	If a signed agent letter is provided, no signature is required on the application by the owner.
Address: City/State/Zip	
E-mail/Address	
Phone Number	
Proof of Ownership	<input type="checkbox"/> Warranty Deed or <input type="checkbox"/> Tax Record

NOTE: If **AGENT** is to represent **OWNER**, notarized letter of consent is required

Applicant/Agent's Name	Crush Law, P.A. Courtney Crush
Applicant/Agent's Signature	
Address: City/State/Zip	333 N New River Drive E, Suite 1500, Fort Lauderdale, FL
E-mail/Address	ccrush@crushlaw.com
Letter of Consent Submitted	YES

Development/Project Name	Crown Center Accessory	
Development/Project Address	Existing: 1301 NW 62nd St	New: 1301 NW 62nd St
Legal Description	FORT LAUDERDALE INDUSTRIAL AIRPARK SECTION 2 63-8 B THAT PT OF LOTS 29 & 35 DESC'D AS COMM AT SW COR OF LOT 35,NLY	
Tax ID/Folio Numbers (For all parcels in development)	494209010291	
Request/Description of Project	A new accessory retail and parking garage structure in existing campus.	
Total Estimated Cost of Project	\$ (Including land costs)	

Current Land Use Designation	Employment Center - High
Proposed Land Use Designation	Employment Center - High
Current Zoning Designation	AIP
Proposed Zoning Designation	AIP
Current Use of Property	Office Buildings
Number of Residential Units	N/A
Non-Residential SF (and Type)	N/A
Total Bldg. SF (include structure parking)	25,019 SF (Retail Building)
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

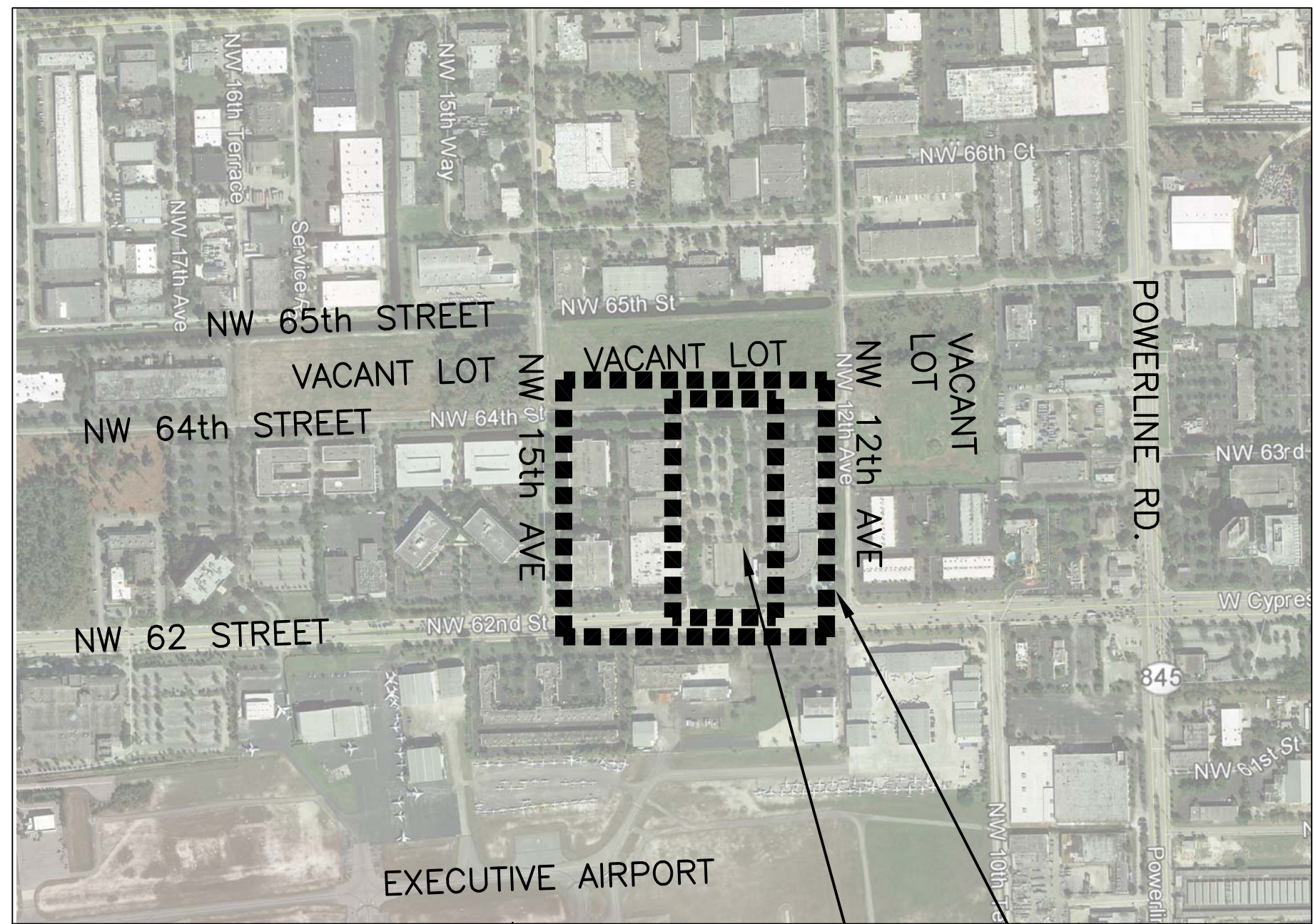
Dimensional Requirements	Required	Proposed
Lot Size (SF/Acreage)	1,030,919 SF (23.66 acres) Existing	No Change
Lot Density	N/A	N/A
Lot Width	1,249 Feet - Existing	No Change
Building Height (Feet/Levels)	FAA Application 7460-1 Required	Retail 1 Level (35'); Garage 4 Levels (52')
Structure Length		Retail: 300'-2" - Garage: 281'-8"
Floor Area Ratio		6.2
Lot Coverage		342,618 SF (33.2%)
Open Space		471,864 SF (45.8%)
Landscape Area		216,637 SF (21%)
Parking Spaces	1,778	2,077

Setbacks (Indicate direction N,S,E,W)	Required	Proposed
Front [S]	100'	111'-6 1/2"
Side [E]	50'	408'-5 1/2"
Side [W]	50'	628'-9"
Rear [N]	50'	50'-3"

New Garage Structure & Retail Center at Crown Center DRC Submittal Set 6-19-15

NO. REVISION	DATE
DRC SUBMITTAL	6-19-15
CONSULTANT:	

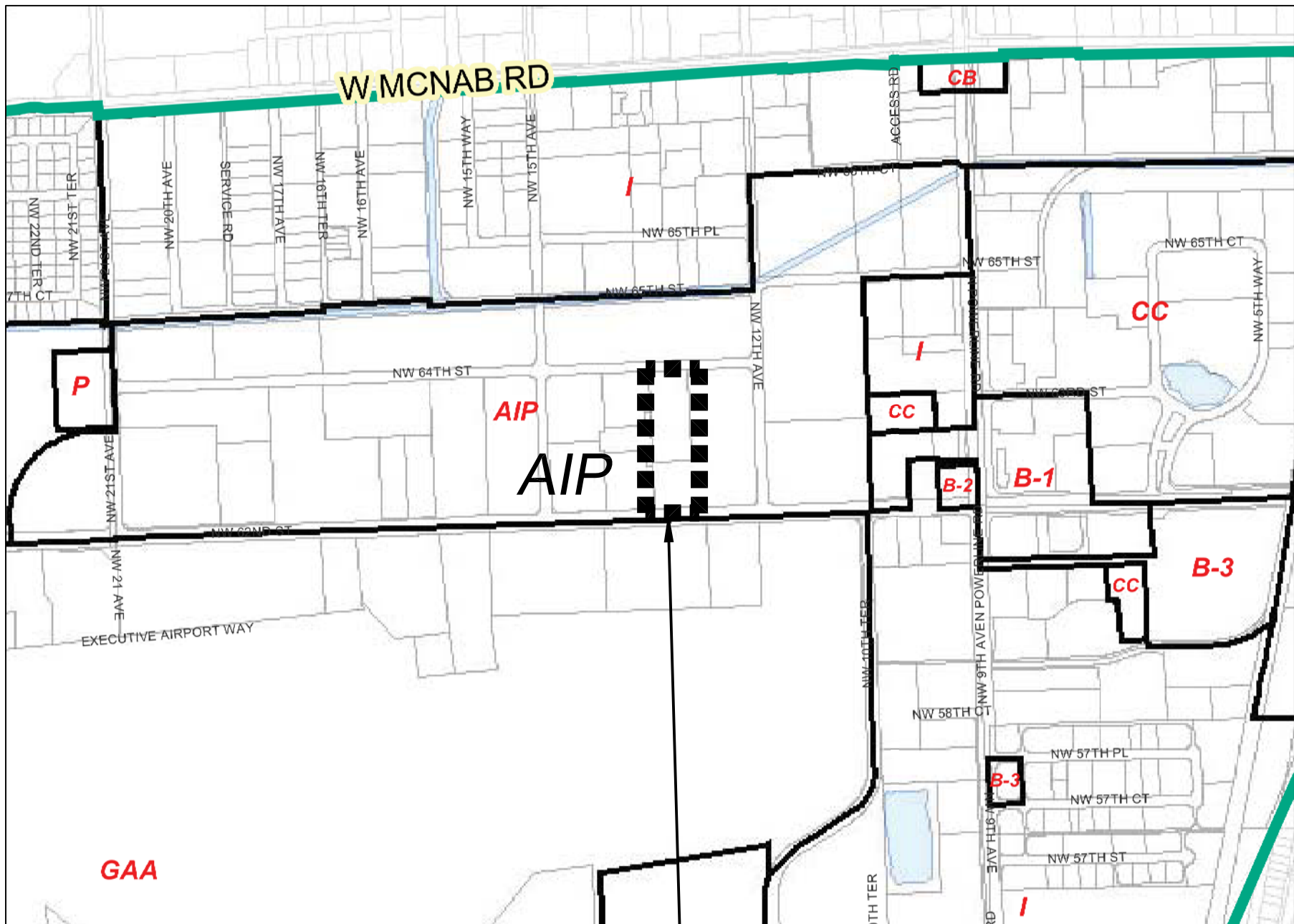
Drawing Index



Location Plan

EXISTING CAMPUS AREA

PROPOSED CONSTRUCTION LOCATION



Zoning Map

PROPOSED CONSTRUCTION SITE

COV	Cover Sheet	Architectural
Site		A-1.1 Retail Floor Plan
PH-1	Existing Conditions Site Photos	A-1.1a Garage 1st Floor Plan
PH-2	Existing Conditions Site Photos	A-2.1 Retail Elevations
V-1	Survey	A-2.2 Retail Elevations & Monument Sign Details
V-2	Survey	A-2.3 Garage Elevations
V-3	Survey	A-2.4 Garage Elevation
S-1	Survey	A-3.1 Retail Sections
S-2	Survey	A-3.2 Garage Sections
SP-1	Overall Site Plan	A-3.3 Garage Section
SP-2	Enlarged Site Plan	A-3.4 Typical Colors and Materials Rendering
SP-3	Enlarged Site Plan	V-5 Axonometric Overall View
CTX-1	Area Context	Landscape
Civil		L1.01 Tree Disposition Plan
C0.01	General Notes	L1.02 Tree Disposition Plan
C1.01	Existing Conditions	L1.03 Tree Disposition Plan
C1.02	Existing Conditions	L2.01 Retail Facility Hardscape Plan
C2.01	Demolition Plan	L2.02 Parking Garage Hardscape Plan
C2.02	Demolition Plan	L2.03 Hardscape Details
C2.03	Pollution Prevention Plan	L3.01 Retail Facility Landscape Plan
C2.04	Pollution Prevention Plan	L3.02 Parking Garage Landscape Plan
C2.05	Demolition Notes	L3.03 Landscape Details
C3.01	Retail Facility Paving, Grading & Drainage	Site Lighting
C3.02	Parking Garage Paving, Grading & Drainage	LT-1 Site Photometrics & Fixture Schedule
C4.01	Retail Facility Utility Plan	LT-2 Garage Gorund Floor Photometrics
C4.02	Parking Garage Utility Plan	
C5.01	Retail Facility Signing & Marking Plan	
C5.02	Parking Garage Signing & Marking Plan	
C6.01	Civil Details	
C6.02	Civil Details	
C6.03	Civil Details	
C6.04	Civil Details	

CHRIS P. ZIMMERMAN, A.I.A.
REGISTERED ARCHITECT NO. 10,995
STATE OF FLORIDA

CPZ ARCHITECTS, INC.

Crown Center Garage & Retail Buildings

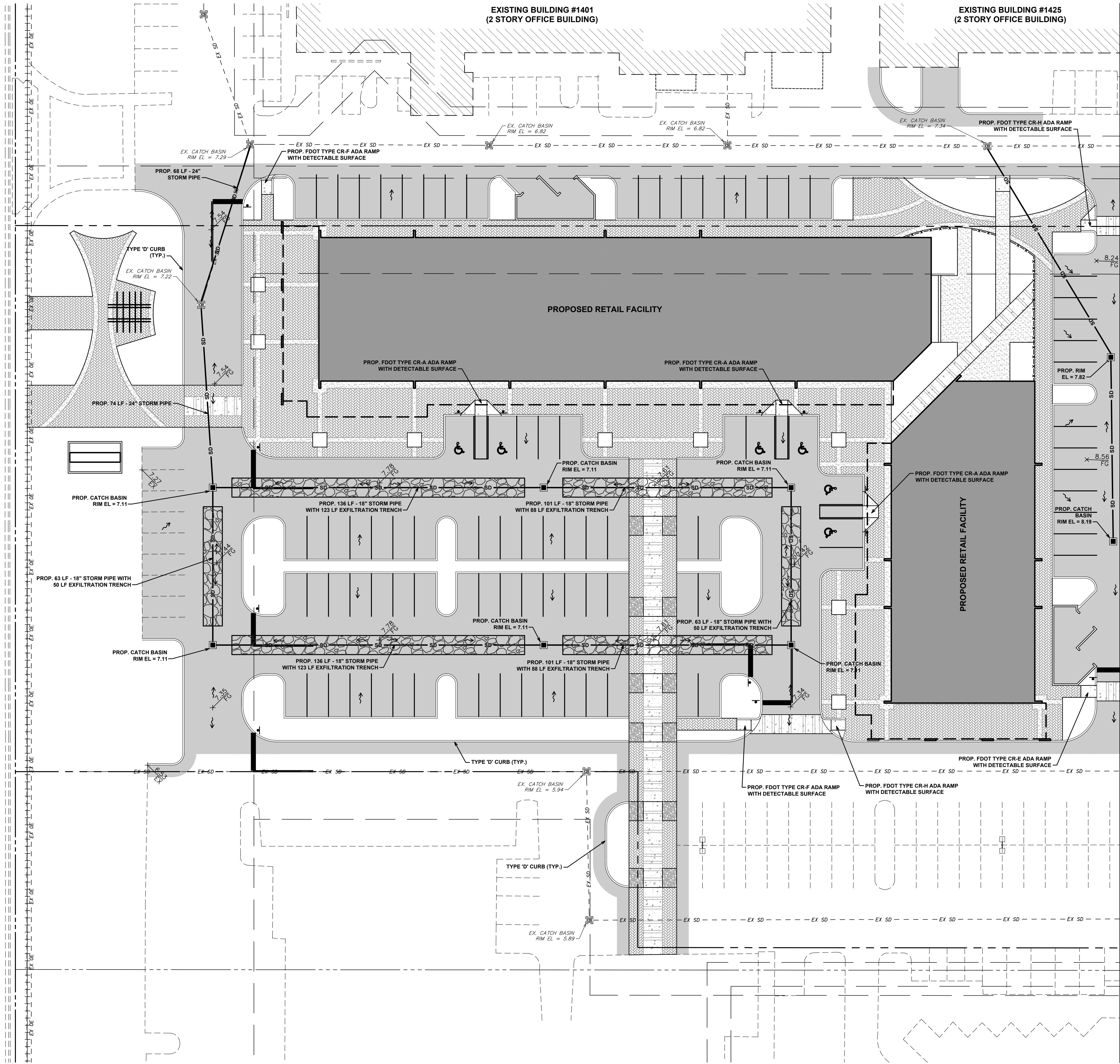
1475 WEST CYPRESS CREEK ROAD
FORT LAUDERDALE, FLORIDA

CPZ

DRAWING TITLE:
Cover Sheet & Photos

DRAWN
CHECKED CPZ
DATE 6.19.15
SCALE AS NOTED
PROJECT NO. 1029DD
SHEET:
COV
of:

CYPRESS CREEK ROAD
(NW 62nd STREET)

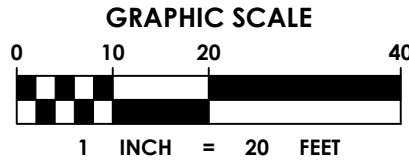
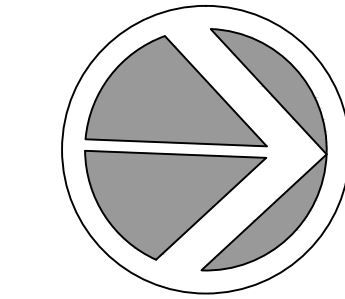


MATCHLINE SEE DRAWING C3.02

- PAVING, GRADING AND DRAINAGE NOTES:**
1. MINIMUM FINISHED FLOOR ELEVATION = XX.XX' N.G.V.D. ACTUAL BUILDING ELEVATIONS WILL BE DESIGNED AND SUBMITTED FOR PERMITS PRIOR TO CONSTRUCTION.
 2. ALL SIDEWALKS SHALL MEET ALL A.D.A. REQUIREMENTS (5% MAX. LONGITUDINAL SLOPE AND 2% MAX. TRANSVERSE SLOPE).
 3. ALL INLETS SHALL BE TYPE 'C' AND MANHOLES SHALL BE TYPE 'P-7' 4'Ø, ALL H-20 RATED, UNLESS OTHERWISE NOTED ON PLAN.
 4. CONCRETE PIPE FOR STORM SEWERS SHALL CONFORM TO ASTM L76-79, TABLE III, WALL B, OR LATEST REVISION. ALL PIPE SHALL HAVE MODIFIED TONGUE AND GROOVE JOINTS, AND HAVE RUBBER GASKETS, UNLESS OTHERWISE SPECIFIED.
 5. BEDDING AND INITIAL BACKFILL OVER DRAINAGE PIPE SHALL BE SAND WITH NO ROCK LARGER THAN 1" DIAMETER.
 6. BACKFILL MATERIAL UNDER PAVED AREAS SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
 7. BACKFILL MATERIAL UNDER AREAS NOT TO BE PAVED SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
 8. DRAINAGE STRUCTURES AND LINES TO BE CLEANED PRIOR TO ENGINEER'S ACCEPTANCE.
 9. CONTRACTOR TO PROVIDE DETAILED AS-BUILT SURVEYS THAT CLEARLY DEFINE THE AREAS OF WORK COMPLETED UNDER THIS CONTRACT INCLUDING BUT NOT LIMITED TO ALL RIM ELEVATIONS (EXISTING AND PROPOSED STRUCTURES), ALL INVERTS, BOTTOM OF STRUCTURE, SUFFICIENT SWALE ELEVATIONS TO DEMONSTRATE THAT SWALES DRAIN TO INLETS, LOCATION OF EXFILTRATION TRENCH, LOCATION OF DRIVEWAY RESTORATION, AND RESTORED ASPHALT PAVEMENT.

LEGEND

SYMBOL	DESCRIPTION
[Solid Grey Box]	PROPOSED BUILDING
[Hatched Box]	PROPOSED ASPHALT PAVEMENT
[Stippled Box]	PROPOSED EXFILTRATION TRENCH
[Dashed Line]	EXISTING GRADE
[Solid Line]	PROPOSED GRADE
[Arrow]	FLOW ARROW
[Square with X]	EXISTING CATCH BASIN
[Square]	PROPOSED CATCH BASIN
[Dashed Line]	EXISTING STORM PIPE
[Solid Line]	PROPOSED STORM PIPE



NOT FOR CONSTRUCTION
PRELIMINARY

SUZANNE DOMBROWSKI, P.E.
REGISTRATION NO. 69918

NO.	REVISION	DATE

CONSULTANT:



500 West Cypress Creek Road
Ft. Lauderdale, FL 33309
954.730.0707
www.chenmoore.com

CERTIFICATES OF AUTHORIZATION
EB4593 LC26000425

CROWN CENTER PLAZA RETAIL
FACILITY & PARKING GARAGE

1475 WEST CYPRESS CREEK ROAD
FORT LAUDERDALE, FLORIDA

CPZ ARCHITECTS, INC.

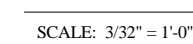
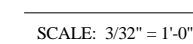
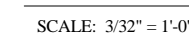
4316 WEST BROWARD BOULEVARD
PLANTATION, FLORIDA 33317
PHONE: (954) 922-8255 FAX: (954) 337-0359
AA 12600065 WWW.CPZARCHITECTS.COM



DRAWING TITLE:
RETAIL FACILITY
PAVING, GRADING,
AND DRAINAGE PLAN

DRC SUBMITTAL	
DRAWN:	AS
CHECKED:	CAB
DATE:	2015-06-19
SCALE:	AS SHOWN
PROJECT NO.	15-430.004
SHEET:	

C3.01

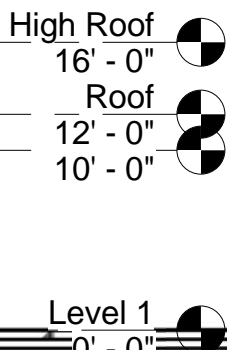
CONSULTANT:

DATE: _____

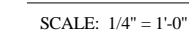
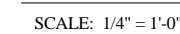
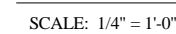
4510 WEST BROWARD BOULEVARD
PLANTATION, FLORIDA 33317
PHONE: (954) 792-8525 FAX: (954) 337-0359
E-MAIL: CPA@CPZARCHITECTS.COM
WWW: WWW.CPZARCHITECTS.COM



A-2.1

CONSULTANT:

SCALE: 3/32" = 1'-0"



DATE: _____

1475 West Cypress Creek Road

4316 WEST BROWARD BOULEVARD
PLANTATION, FLORIDA 33317
PHONE: (954) 792-8525 FAX: (954) 337-0359
AA #26000685 WWW.CPZARCHITECTS.COM



DRAWN:
CHECKED:
DATE: 6-19-15
SCALE: As indicated
PROJECT NO. 1029DD
SHEET:

A-2.2



CITY OF FORT LAUDERDALE

DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

Meeting Date: July 14, 2015

Project Name: Fort Lauderdale Crown Center Inc. / Crown Center Academy

Case Number: R15033

Request: Site Plan Level II Review: 125,019sf Retail Building and parking Garage

Location: 1301 NW 62nd Street

Zoning: Airport Industrial Park (AIP)

Land Use: Employment Center

Project Planner: Thomas Lodge

Case Number:
R15033_Airport

CASE COMMENTS:

Please provide a response to the following:

- 1) A Notice of Proposed Construction or Alteration form (7460-1) must be filed with the FAA and a determination of no hazard to air navigation issued since the proposed building exceeds 15 feet. An airspace study number must be assigned to the project before requesting any preliminary sign offs. The FAA must issue a determination of no hazard to air navigation letter prior to requesting final sign off.
- 2) A second Notice of Proposed Construction or Alteration must be filed for the construction crane or equipment that will exceed the height of the building.
- 3) Please refer to the web site listed below for information regarding how to file electronically or hard copy <https://oeaaa.faa.gov/oeaaa/external/portal.jsp> The two notices should be filed with the FAA as soon as possible since it typically takes at least 60 days for the FAA to issue a determination.

Case Number: R15033

GENERAL COMMENTS:

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in **Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances** and accessed at;
 - a. https://www.municode.com/library/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

Please consider the following prior to submittal for Building Permit:

1. On June 30 2015, the 5th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations;
 - b. <http://www.fortlauderdale.gov/departments/sustainable-development/building-services>
 - c. https://floridabuilding.org/dca/dca_fbc_default.aspx
 - d. <http://www.broward.org/codeappeals/pages/default.aspx>

Case Number: R15033

CASE COMMENTS:

A. Please respond to Comments 1 through 21 prior to Final DRC sign off

1. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
 - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Please contact Jorge Holguin at 954-828-5675 or JHolguin@fortlauderdale.gov.
 - b. Prepare & submit an application for a Developer Agreement (Water & Wastewater permit packages) with the Department of Sustainable Development. Coordinate the submittal through Alex Scheffer, P.E. – Urban Design Engineer at (954) 828-5123 or AScheffer@fortlauderdale.gov.
 - c. A Traffic Impact Study may be required in accordance with ULDR Section 47-25.2.M.4 of the City's Code of Ordinances. For detailed information on methodology and procedures concerning the TIS coordinate with Alia Awwad, P.E. [(954) 828-6078 or AAwwad@fortlauderdale.gov] and/or Eric Houston [(954) 828-5216 or EHouston@fortlauderdale.gov] with the Transportation & Mobility Department to fulfill transport aspect of the Adequacy requirements.
 - d. Coordinate the minimum Finished Floor Elevation and site grading approval with Richard Benton – City Floodplain Manager at (954) 828-6133 or RBenton@fortlauderdale.gov; please note that additional notes may be required on the Site Data table.
2. Obtain approval from the Florida Department of Transportation (FDOT) for the Strategic Intermodal System (SIS) Program. The site plan shall be reviewed and approved by FDOT. Please contact Ms. Tammy Campbell at 954-777-4668 (tammy.campbell@dot.state.fl.us) to inquire whether the SIS approval is required for the proposed development.
3. Provide documentation from the Broward County Planning Council (BCPC) verifying whether the site requires platting/replatting. The documents from BCPC shall be submitted to the City's engineering reviewer. The BCPC may be contacted at (954) 357-6695.
4. A Traffic Impact Study may be required in accordance with ULDR Section 47-25.2.M.4 of the City's Code of Ordinances. For detailed information on methodology and procedures concerning the TIS, please contact Alia Awwad, P.E. at (954) 828-6078 or AAwwad@fortlauderdale.gov.
5. Discuss the 3 entries into the proposed parking garage; consider eliminating one entry (leaving two).
6. Dimension and provide loading zone(s) required per ULDR Sections 47-20.2 & 47-20.6 (one Type I), based on type of usage (Multi-Tenant Commercial Buildings).
7. Site Entrances to N.W. 62nd Avenue / W. Cypress Creek Road and N.W. 64th Street – Label lane widths and show sight triangles on Sheets SP-1, SP-2 & SP-3.
8. Discuss status of parking agreement or situation between and with adjacent properties.

9. Discuss if proposed parking garage is to be gated.
10. Clearly show all existing easements on Site Plan and Civil Drawings.
11. Since proposed work extends beyond limits of 'Subleasehold Estate', provide Unity of Title or documentation allowing improvements constructed on adjacent property.
12. Sheet C4.01 – Fire and water connections to the proposed building called out as T.B.D., and location of nearby water lines not shown; proposed sewer laterals and location of nearby sewer mains missing altogether.
13. Sheet A-1.1a – Label proposed parking garage ramp grade, which shall be per the ULDR Section 47-20.9 criteria; Drive Isle on north side of parking garage is labeled 24'-wide, but scales less than that dimension.
14. Provide details and dimensions for proposed garage structure on all floors (2nd Floor through 4th Floor is missing).
15. Please prepare and submit the following exhibits which clearly define the following (as applicable):
 - a. Construction Phasing Exhibit
 - b. Right-of-Way / Easement Dedication / Vacation Exhibit
 - c. Maintenance Agreement Area Exhibit
 - d. Revocable License Area Exhibit
16. Provide the ADA parking, access/driveway, and sidewalks/ramps in accordance with Chapter 553 of the Florida's Statutes, "Accessibility of Handicapped Persons" and latest edition of "Accessibility Requirements Manual" by Department of Community Affairs Florida Board of Building Codes and Standard and in accordance with American Disability Act (ADA).
17. Submit a signed and sealed survey showing all above ground improvements, utilities, rights of way dimensions and all easements. This survey shall be based on an a Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar. The title commitment or Opinion of Title must have an effective date no more than thirty days prior to the date of submittal of the survey and must be certified to the City of Fort Lauderdale. Additionally, an affidavit shall be provided by the property owner attesting that there were no additional recordings of easements or encroachments from survey date to the final DRC sign off date.
18. Prepare and submit an erosion and sediment control plan. This plan shall be reviewed for the drainage impacts to adjacent properties, surrounding Right-of-Way, stormwater facilities, and neighboring water bodies.
19. Show utilities on the lighting and landscaping plans for potential conflict.
20. Verify the existing utilities shown on the survey and describe whether the connection and routing of franchised utilities (power, cable, gas, communications, etc.) serving the proposed development will need to be removed and/or relocated.
21. Please discuss the locations/relocation of the underground utilities with the City Public Works Department - Utilities, Rick Johnson at RJohnson@fortlauderdale.gov or (954) 828-7809.

B. Respond to Comments 22 through 38 prior to Engineering Permit Approval

22. Prepare and submit the following civil engineering drawings, signed and sealed by a Florida registered professional Civil Engineer:

- a. Paving, Grading, and Drainage Plan, including the sizes and dimensions of all stormwater infrastructure.
 - b. Water and Sewer Plan, including any existing water main, force mains, gravity mains, etc. (show all materials & pipe sizes on the plan). Please be advised that all water main shall be constructed with DIP piping in the City Right-Of-Way.
 - c. Provide typical cross-sections and section profiles along all property lines, and show how the existing and proposed grades will tie to one another. Also, show spot elevations along the perimeter (property lines) on the Paving, Grading, and Drainage plan.
 - d. Signing and marking plan, including the radii for all landscaping and pavement areas.
23. Provide an on-site drainage system along with storm runoff calculations (signed and sealed by a Florida registered professional engineer). The calculations shall show how the minimum road crown and finished floor elevations are met, and how the 25-year, 3-day storm event is maintained on site with zero discharge to Right-of-Way and adjacent properties. In addition, please note that the City does not allow connecting the on-site stormwater drainage system with those in the City's Right-of-Way. Fill requirements to be provided by City Floodplain Manager, Richard Benton.
24. Provide support data that this site meets the fire hydrant locations and distribution as per the NFPA Codes and Standards. Clearly show all existing and proposed fire hydrants and 500-foot radius of coverage area. In addition, please note that a fire hydrant shall be installed within 100 feet of the Fire Department Connection.
25. Resolve the minimum standards for the State of Florida Notice of Intent (FAC 62-621.300(4)(b)) per the Florida Department of Environmental Protection (FDEP) criteria. Notice is required for sites of one (1) acre or larger site area with the potential for discharge of sediments to surrounding surface waters or drainage systems which discharge indirectly to those surface waters as classified or otherwise identified in the Florida Administrative Code (FAC). Therefore, the Applicants whose projects disturb one or more acres of soil or whose projects disturb less than one acre but are part of a larger common plan of development that in total disturbs one or more acres, are required to obtain coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity.
26. Please be advised that all proposed improvements within or adjacent to the City's Right-of-Way are subject to issuance of permit from the City, as well as the execution of an agreement that may authorize the City for removing those improvements for any public purpose in the future. In addition, please note that a maintenance agreement shall be executed with the City acknowledging that the Applicant will maintain all the facilities, landscaping, and hardscaping improvements within the City's Right-of-Way.

Please note that all easements and maintenance agreements shall be recorded prior to final permit close out and Certificate of Occupancy issuance.

27. Obtain a Transportation Concurrency Satisfaction Certificate from the Broward County Planning and Environmental Regulation Division (BCPERD). Please contact Evangeline Kalus at (954) 357-6632 or EKalus@broward.org at BCPERD to determine whether the project is subject to the Transportation Concurrency Fees. In addition, please contact Pierre Dogniaux with the Broward County Transit Division at (954) 357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.
28. Obtain a general or surface water management license from the Broward County Environmental Protection & Growth Management Division (BCEPGMD). Route certified calculations with Paving & Drainage plans to engineering reviewer.
29. Verify the means for the demolishing the existing structures on the property so that appropriate timely notice and coordination can be executed with the City's Public Works Utilities, and franchise utility companies to control the impacts from the demolition. Please be advised that a permit is required for demolishing work activities.

30. Prepare an appropriate staging plan, which includes phasing and information regarding the site layout of the temporary construction measures. The purpose of this plan is to identify the temporary construction measures that will be used to protect the general public, adjoining properties, and minimize the impact of the construction on neighboring transportation system, landscaping, Right-of-Way encroachments, and businesses. The items to be addressed by the staging plan shall include but not limited to the following:
- a. Submit a Construction Phasing Plan clearly depicting the phasing of construction if applicable. The plan shall show the following:
1. Include a narrative for each phase along with roadways utilized for materials delivery
 2. Clearly show boundaries of the site, dimensions and names of all streets and alleys, direction of travel, bike lanes, on-street parking and sidewalks
 3. Show location of Job trailers or construction offices for the staff, general contractor, and subcontractors with Finished Floor Elevations
 4. Show location, type and size of temporary construction fencing, including locations of gates and gate swing radii. If corners of fence correspond with cross streets, propose a fence boundary that will not obstruct sight lines for motor vehicles
 5. Show location and type of construction crane(s), including span radius
 6. Indicate location and number of portable rest rooms, dumpsters, and trash chutes
 7. Show location of the Fire Department Connection during construction and a water supply (hydrant) in accordance with N.F.P.A.1, Chapter 29
 8. Show location of any sidewalk to be closed or protected as required by Chapter 33 of the Florida Building Code
 9. Indicate location and time frame of any street closures (part or all of street) with a detour signage plan meeting MUTCD standards, prepared by a Certified Traffic engineer or technician. Please be advised that the City Commission approval will be required for detours and street and sidewalk closures lasting over 72 hours, and the said approval may take eight (8) weeks or more
 10. Show all existing parking spaces that may be affected by the construction (or construction phasing) and indicate all parking spaces that would be included within proposed construction boundaries for each phase
 11. Show location of parking for inspectors and construction personnel. Include all off site parking- location, period of lease and number of spaces leased. If shuttle will be provided between parking and job site – give shuttle schedule and show route of shuttle
 12. Show loading/unloading areas for material delivery to include entry and exit path of vehicles without backing into street
 13. Show routes that delivery trucks will be instructed to follow when traveling to and from the site. All efforts should be made to avoid residential and/or small, merchant lined streets. This may be shown on a separate drawing, prepared at an appropriate scale in order to illustrate route through the City
 14. Indicate where and how concrete trucks will stage during multiple yardage pours
 15. Provide an Erosion Control Plan and show location and type of silt fencing for dust control along with measures for erosion control against material leaving site from vehicular traffic
 16. Indicate the locations of storm inlets. If physical measures will be taken to protect inlets, illustrate these on the Erosion Control Plan
 17. Show locations of truck wash-off area and procedures, including tires and concrete chutes
 18. Indicate schedule for street sweeping of periphery of construction site
 19. Indicate if dewatering is proposed.
31. Obtain a dewatering permit as required from the Broward County Environmental Protection Dept. (EPD). This permit is required only if the site is within 1/4 mile of a known contamination site. The EPD contact is David Vanlandingham (dvandingham@broward.org or 954/519-1478). He prefers to be notified via email for the quickest response. You can view their standard operation procedures for dewatering at http://www.broward.org/pprd/cs_dewatering.htm.

32. Apply and obtain a South Florida Water Management District (SFWMD) dewatering permit activities if off-site discharge is anticipated. Any planned activity that requires dewatering needs to be reviewed by SFWMD. In many cases, this could involve an email to SFWMD that include a description of the activity. If no permit is required, SFWMD will let you know. The SFWMD contact person is Steve Memberg (smemberg@sfwmd.gov).
33. Contact the Broward County Transit to determine whether the project is within the Transportation Concurrency Exception Area (TCEA) and subject to road impact fees. The City's Transportation Element requires developers within the TCEA to meet with and include the Broward County Transit representatives in proposed enhancements or improvements to their systems. Please contact Pierre Dogniaux (B.C. Transit) at 954-357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.
34. Pay capital expansion fees for water and wastewater treatment, distribution, and disposal at the rate identified in Ordinance C-05-21. The fee will be calculated based on Equivalent Residential Connections (ERC's). Provide a calculation for existing and proposed ERC's for approval by Urban Design Engineer. Impact fees shall be paid prior to the issuance of the building permit.
35. Please note that any lighting onsite or in the City's Right-of-Way or both, shall be approved and authorized by the City's Engineering and /or Building (Electrical Staff) Department. Any lighting placed in the Right-of-Way shall be powered by an approved lighting circuit from the proposed development or FPL source, and will require an engineering permit. Any new lighting system powered by private source shall require a revocable license agreement with the City along with a "disconnect" that shall be accessible by Facilities Maintenance staff in or near the right of way. Please contact the Facilities Maintenance office, David Smith at (954) 828-6560, for information concerning the lighting within the City's Right-Of-Way.
36. Obtain an engineering permit before installing, removing, or relocating poles (lighting or electrical) within the City's right of way. Permanent or temporary relocations or removals shall be reviewed and approved by the City.
37. Please discuss with City Public Works Department - Utilities, Rick Johnson at (954) 828-7809, concerning the proposed methods of noise, vibration, and odor mitigation.
38. Show location of building roof drains, and their proposed connection(s) to the on-site drainage system.

Case Number: R15033

CASE COMMENTS:

Please provide a response to the following:

1. Fire truck turning radius is 40 inside and 60 outside. Entire project must comply with NFPA (1) 18.2.3.2 entire section of the 2012 edition for fire department access.

Case Number: R15033

CASE COMMENTS:

Please provide a response to the following:

1. Review the City of Fort Lauderdale's Florida Friendly Landscaping requirements which have been adopted into the Landscape and Tree Preservation Requirements of our ULDR 47-21. There are certain calculation, hydrozone planting, irrigation, street tree, etc requirements that must be provided. Refer to Landscaping & Trees subheading at Building Permit Link at www.fortlauderdale.gov to view the official City Commission approved ordinance.
2. Provide a corresponding list of these trees/palms including:
 - a. tree number for each
 - b. botanical name and common name for each
 - c. trunk diameter, in inches, at chest height for trees
 - d. clear trunk in feet for palms
 - e. condition percentage as a number for each
 - f. and status (remove, relocate, remain) for each
 - g. This information is required to confirm site inspection results and calculate equivalent replacement requirements.
3. Provide mitigation calculations for replacement tree requirements. Confirm that mitigation is being met on site. Reference Landscaping & Trees subheading at <http://www.fortlauderdale.gov/departments/sustainable-development/building-services/building-permits> for permit, calculation, and document downloads.
4. Light pole locations are not to be within 15' of tree locations. Note this on photometric, electrical, site and landscape plans to help avoid conflicts during construction.
5. Confirm with civil and life safety plans that utilities are not causing conflicts with proposed landscaping. Where conflicts exist, shift the utility.
6. Parking rows are to begin and end with landscaping islands containing shade trees. This area is to be a minimum of 8' wide measured inside curbing.

GENERAL COMMENTS:

The following comments are for informational purposes.

Please consider the following prior to submittal for Building Permit:

7. A separate sub-permit application for Tree Removal and Relocation is required at time of master permit submittal.
8. A separate sub-permit application for General Landscaping is required at time of master permit submittal.
9. Provide irrigation plan illustrating an automatic system which provides 100% coverage, 50% overlap and rain sensor shut off device. This is to include the rights-of-way areas.

Case Number: R15033

CASE COMMENTS:

Please provide a response to the following:

- 1) The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a map and listing of officially-recognized neighborhood associations is provided on the City's website: (<http://www.fortlauderdale.gov/neighborhoods/index.htm>)). Please provide acknowledgement and/or documentation of any public outreach.
- 2) The site is designated Employment Center on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives and Policies.
- 3) The proposed retail center is not a permitted use in the Airport Industrial Park (AIP) Zoning District. Please discuss options with City staff.
- 4) Consider integrating the proposed retail building and parking garage, and consider moving the proposed structure up to the 100-foot minimum setback line along Cypress Creek Road.
- 5) The site plan currently shows three access points on the south side of the parking garage. Consider moving some of the access points to avoid potential automobile/pedestrian conflicts on the south side of the garage. Provide detail of garage screening of openings and light fixture shields. Ensure screening adequately blocks out light and noise pollution and incorporates high-quality architectural treatment solution.
- 6) Consider removing the drive isle between the pedestrian plaza and south end of the retail building to provide safe pedestrian access from the sidewalk and plaza to the proposed retail building. Also, consider a design on the south façade similar to the façade currently shown on the west facing elevation.
- 7) It is strongly recommended that bicycle parking be located in visible, well-lit areas as close as possible to pedestrian entryways/doors is provided. In addition where possible, locate bicycle parking facilities in an area that is sheltered/covered.
- 8) The City's Vision is to support sustainable infrastructure. Consider employing green building practices throughout the project including, such as, but not limited to charging stations, tankless water heaters, rain collection systems, pervious on-street parking, bio-swales, Florida Friendly™ plant materials, solar panels and green roofs.

General Comments

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

- 9) Provide a written response to all DRC comments within 180 days.
- 10) An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments. Prior to routing your plans for Final DRC sign-off, please schedule an appointment with the project planner (954-828-8981) to review project revisions and/or to obtain a signature routing stamp.
- 11) If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on an additional site plan, to avoid additional review in the future. Ensure details and locations receive approval from the Building Service Department's DRC Representative.

- 12) Additional comments may be forthcoming at the DRC meeting.

Case Number: R15033

CASE COMMENTS:

Please provide a response to the following:

1. All glazing should be impact resistant.
2. All entry and exit doors should be solid, impact resistant or metal and be equipped with a secondary deadbolt locking system.
3. All entry and exit doors, including the back exterior doors, should provide a view of the exterior or be equipped with a 180 degree viewport or peephole for security.
4. Retail spaces should be wired for a security alarm system. The system should have a cellular and / or battery backup feature.
5. Retail spaces should be equipped with a Closed Circuit TV (CCTV) system that covers the entry and exit points, cashier's counters, main office and storage areas.
6. Light reflective paint should be used in the parking garage to increase visibility and safety.
7. Emergency communication devices should be available in the parking garage. These should be easily identified and located.
8. The parking garage should be equipped with a Closed Circuit TV system (CCTV) covering all floors to include entry and exit points.

GENERAL COMMENTS:

The following comments are for informational purposes.

It is highly recommended that the managing company make arrangements for private security during construction. Please submit comments in writing prior to DRC sign off.

Case Number: R15033

CASE COMMENTS:

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your complex creates and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line. Adequate space should be provided within dumpster enclosure to accommodate wheeled recycling carts.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City
4. Service Days shall be: No restriction for Commercial collection.
5. Solid Waste charges shall be collected in monthly lease with Sanitation account for property under one name.
6. Solid Waste Collection shall be on private property. Container shall not be placed, stored or block the public street to perform service (large multifamily and commercial parcels).
7. Ensure **site plan** clearly indicates (labeled) locations of all solid waste and recycling containers and/or compactor(s) for all uses as proposed in application. Identify containers.
8. Provide on the site plan a garbage truck turning radii for City review. Drive aisle width and design configuration must allow for safe and efficient maneuverability on-site and off-site. Indicate how truck will circulate to/from/within property.
9. Consult DRC Engineering staff to ensure adequate vehicle height and width clearance, configuration for accessibility to containers, and to confirm circulation standards are met.
10. Containers: must comply with 47-19.4.
11. Draw equipment on plan to show location of the containers inside the trash room. *Clarify whether uses on site will utilize compactor, carts and/or dumpster.*
12. Trash Room services will be handled by private collector, or Trash Room services will be done by on-site personnel, or Trash Room services will be done custodial staff.
13. Clearly label on site plan the location of enclosure(s), dumpster(s), recycling area(s), containers, etc. as applicable relating to Solid Waste / Recycling. Indicate on plans where users' accessibility is accommodated for all container areas.
14. **If applicable**, provide letter from chute company indicating make and model of proposed equipment and that it will meet the capacity needs of building.

15. Submit a Solid Waste Management Plan on your letterhead containing name of project, address, DRC case number, number of units if applicable, and indicate whether is Pre or Final DRC.
- Letter should be created on formal letterhead describing what services are to be provided for solid waste and recycling including:
 - Type and size of containers, frequency of service, service provider if known; and
 - Any additional details such as: container type(s), on-site handling and logistics for waste and disposal, specific dimensions as needed (e.g. compactor side and height clearance for haulers' accessibility).
 - This letter is to be approved and signed off by the Sustainability Division, and should be attached to your drawings. Please email an electronic copy to gmaldonado@fortlauderdale.gov. Letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and container requirements to meet proposed capacity.
 - Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.

GENERAL COMMENTS:

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC: None

Case Number: R15033

CASE COMMENTS:

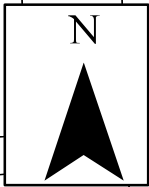
1. Provide a traffic impact statement. Coordinate with the Transportation and Mobility Department to discuss a traffic impact study.
2. Provide a parking calculation for all uses within the complex to ensure that adequate parking is provided.
3. Provide covered bicycle racks and bike pumps. Consult the APBP Bicycle Parking Guidelines and Broward County End-of-Trip Bicycle Facilities Guide. Provide minimum bicycle parking based on requirements in the guide.
4. Consider providing charging stations for electric vehicles in the parking garage; as well as designated car pool and hybrid vehicle parking spaces.
5. Provide a floor plan for each level of the garage. Please include dimensions of drive aisles, ingress/egress, parking spaces, pedestrian facilities, etc.
6. Ensure that there is adequate stacking at the ingress/egress of the parking garage.
7. Consider relocating the ingress/egress points of the garage or redistributing them accordingly.
8. Ensure that pedestrian movement throughout the site can be done safely on sidewalks, crosswalks, and all walkways. Provide seamless pedestrian connections between:
 - a. Cypress Creek Road and the proposed retail
 - b. The parking garage and proposed retail
 - c. Existing buildings and proposed retail
 - d. Existing buildings and parking garage
9. Ensure all sidewalks are a minimum of 5ft wide, provide a seamless connection to adjacent sidewalks, and are ADA compliant throughout the site.
10. Show proposed improvements on Cypress Creek Blvd including a minimum 8-10 foot sidewalk; consult the city of Fort Lauderdale's "Connecting the Blocks" plan for more detailed information.
11. Ensure all sidewalks and curb cuts are unobstructed and ADA accessible.
12. Additional comments may be provided upon further review.
13. Signature required.

GENERAL COMMENTS:

Please address comments below where applicable.

1. Contact Eric Houston at 954-828-5216 or ehouston@fortlauderdale.gov to set up an appointment for final plan approval.

2. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.



Subject Property

PARCEL "A"

NW 65TH ST

PARCEL "C"

NW 64TH ST

NW 15TH AVE

AIP

NW 12TH AVE

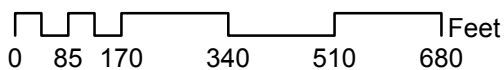
NW 62ND ST

GAA

PARCEL 10C

PARCEL 11D

PARCEL 11



R15033